

INVOICE

FROM:

Angelina's Appraisals
 Angelina's Appraisals
 18792 Krameria Ave
 Riverside, CA 92508-9307

Telephone Number: (951) 776-4682 Fax Number: (951) 776-4218

TO:

E-Mail:
 Telephone Number: Fax Number:
 Alternate Number:

INVOICE NUMBER	
0 dale evans	
DATES	
Invoice Date:	12/03/2019
Due Date:	
REFERENCE	
Internal Order #:	
Lender Case #:	
Client File #:	
FHA/VA Case #:	
Main File # on form:	15445
Other File # on form:	
Federal Tax ID:	
Employer ID:	

DESCRIPTION

Lender: Federal Home Loans Client: Federal Home Loans
 Purchaser/Borrower: Crystal Blanco
 Property Address: Dale Evans Pkwy
 City: Apple Valley
 County: San Bernardino State: CA Zip: 92307
 Legal Description: Tract 3225 lot 1829 TR NO 3225 Apple Valley Ranchos lot 5, 1829 ex 1/2 int min RTS without S

FEES

AMOUNT

Single family residence	380.00
SUBTOTAL	
	380.00

PAYMENTS

AMOUNT

Check #:	Date:	Description:	380.00
Check #:	Date:	Description:	
Check #:	Date:	Description:	
SUBTOTAL			380.00
TOTAL DUE			\$ 0

Borrower/Client	Crystal Blanco	File No.	15445
Property Address	Dale Evans Pkwy		
City	Apple Valley	County	San Bernardino
		State	CA
Lender	Federal Home Loans	Zip Code	92307

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SUMMARY OF SALIENT FEATURES

SUBJECT INFORMATION	Subject Address	Dale Evans Pkwy
	Legal Description	Tract 3225 lot 1829 TR NO 3225 Apple Valley Ranchos lot 5, 1829 ex 1/2 int min RTS \
	City	Apple Valley
	County	San Bernardino
	State	CA
	Zip Code	92307
	Census Tract	97.14
	Map Reference	40140
SALES PRICE	Sale Price	\$
	Date of Sale	
CLIENT	Borrower/Client	Crystal Blanco
	Lender	Federal Home Loans
DESCRIPTION OF IMPROVEMENTS	Size (Square Feet)	1,980
	Price per Square Foot	\$
	Location	Average
	Age	0
	Condition	GOOD/NEW
	Total Rooms	5
	Bedrooms	4
	Baths	2.0
APPRAISER	Appraiser	ANGELINA PERRY
	Date of Appraised Value	12/01/2019
VALUE	Final Estimate of Value	\$ 260,000

RESIDENTIAL APPRAISAL REPORT

File No.: 15445

SUBJECT	Property Address: Dale Evans Pkwy	City: Apple Valley	State: CA	Zip Code: 92307
	County: San Bernardino	Legal Description: Tract 3225 lot 1829 TR NO 3225 Apple Valley Ranchos lot 5, 1829 ex 1/2 int min RTS without S		
	Tax Year: 2019	R.E. Taxes: \$ 2,414.68	Special Assessments: \$ 0	Borrower (if applicable): Crystal Blanco
	Current Owner of Record: Gary, Steven B Iii	Assessor's Parcel #: 0440-041-13-0000		
	Project Type: <input type="checkbox"/> PUD <input type="checkbox"/> Condominium <input type="checkbox"/> Cooperative <input type="checkbox"/> Other (describe)	HOA: \$ <input type="checkbox"/> per year <input type="checkbox"/> per month		
	Market Area Name: Apple Valley	Map Reference: 40140	Census Tract: 97.14	

ASSIGNMENT	The purpose of this appraisal is to develop an opinion of: <input checked="" type="checkbox"/> Market Value (as defined), or <input type="checkbox"/> other type of value (describe)
	This report reflects the following value (if not Current, see comments): <input checked="" type="checkbox"/> Current (the Inspection Date is the Effective Date) <input type="checkbox"/> Retrospective <input type="checkbox"/> Prospective
	Approaches developed for this appraisal: <input checked="" type="checkbox"/> Sales Comparison Approach <input type="checkbox"/> Cost Approach <input type="checkbox"/> Income Approach (See Reconciliation Comments and Scope of Work)
	Property Rights Appraised: <input checked="" type="checkbox"/> Fee Simple <input type="checkbox"/> Leasehold <input type="checkbox"/> Leased Fee <input type="checkbox"/> Other (describe)
	Intended Use: market value for brand new manufactured home
Intended User(s) (by name or type): Federal Home Loans	
Client: Federal Home Loans	Address: 5540 Ruffin Rd, San Diego, CA 92123
Appraiser: ANGELINA PERRY	Address: 18792 Krameria Ave, Riverside, Ca 92508

MARKET AREA DESCRIPTION	Location: <input type="checkbox"/> Urban <input type="checkbox"/> Suburban <input checked="" type="checkbox"/> Rural	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th colspan="2">Predominant Occupancy</th> <th colspan="2">One-Unit Housing</th> <th colspan="2">Present Land Use</th> <th colspan="2">Change in Land Use</th> </tr> <tr> <td><input checked="" type="checkbox"/> Owner</td> <td>PRICE \$ (000)</td> <td>AGE (yrs)</td> <td>One-Unit 64 %</td> <td><input type="checkbox"/> Not Likely</td> <td colspan="2" rowspan="3">* To: manufactured home</td> <td><input type="checkbox"/> Likely *</td> </tr> <tr> <td><input type="checkbox"/> Tenant</td> <td>185 Low 0</td> <td>2-4 Unit 2 %</td> <td><input checked="" type="checkbox"/> In Process *</td> </tr> <tr> <td><input type="checkbox"/> Vacant (0-5%)</td> <td>365 High 75</td> <td>Multi-Unit 2 %</td> </tr> <tr> <td><input checked="" type="checkbox"/> Vacant (>5%)</td> <td>220 Pred 25</td> <td>Comm'l 3 %</td> <td></td> </tr> </table>	Predominant Occupancy		One-Unit Housing		Present Land Use		Change in Land Use		<input checked="" type="checkbox"/> Owner	PRICE \$ (000)	AGE (yrs)	One-Unit 64 %	<input type="checkbox"/> Not Likely	* To: manufactured home		<input type="checkbox"/> Likely *	<input type="checkbox"/> Tenant	185 Low 0	2-4 Unit 2 %	<input checked="" type="checkbox"/> In Process *	<input type="checkbox"/> Vacant (0-5%)	365 High 75	Multi-Unit 2 %	<input checked="" type="checkbox"/> Vacant (>5%)	220 Pred 25	Comm'l 3 %	
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Built up: <input type="checkbox"/> Over 75% <input checked="" type="checkbox"/> 25-75% <input type="checkbox"/> Under 25%																													
Growth rate: <input type="checkbox"/> Rapid <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Slow																													
Property values: <input type="checkbox"/> Increasing <input checked="" type="checkbox"/> Stable <input type="checkbox"/> Declining																													
Demand/supply: <input type="checkbox"/> Shortage <input checked="" type="checkbox"/> In Balance <input type="checkbox"/> Over Supply																													
Marketing time: <input type="checkbox"/> Under 3 Mos. <input checked="" type="checkbox"/> 3-6 Mos. <input type="checkbox"/> Over 6 Mos.																													

Market Area Boundaries, Description, and Market Conditions (including support for the above characteristics and trends): See mc form, general marketing time appears to be 2-5 months for reasonably priced homes. Primarily conventional and fha financing. Concessions up to 3% noted.

Dimensions: approx 145 by 550	Site Area: 50,895 sf
Zoning Classification: R-1	Description: single family, manufactured home
Zoning Compliance: <input checked="" type="checkbox"/> Legal <input type="checkbox"/> Legal nonconforming (grandfathered) <input type="checkbox"/> Illegal <input type="checkbox"/> No zoning	
Are CC&Rs applicable? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown	Have the documents been reviewed? <input type="checkbox"/> Yes <input type="checkbox"/> No
Highest & Best Use as improved: <input type="checkbox"/> Present use, or <input checked="" type="checkbox"/> Other use (explain) new manufactured home	Ground Rent (if applicable) \$ /
Actual Use as of Effective Date: brand new manufactured home	Use as appraised in this report: market value as new manufactured home
Summary of Highest & Best Use: manufactured home	

SITE DESCRIPTION	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th>Utilities</th> <th>Public</th> <th>Other</th> <th>Provider/Description</th> <th>Off-site Improvements</th> <th>Type</th> <th>Public</th> <th>Private</th> <th>Topography</th> </tr> <tr> <td>Electricity</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td></td> <td>Street</td> <td>asphalt</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td>mostly level</td> </tr> <tr> <td>Gas</td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td>propane</td> <td>Curb/Gutter</td> <td></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>50895 sf</td> </tr> <tr> <td>Water</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td></td> <td>Sidewalk</td> <td></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Rectangular</td> </tr> <tr> <td>Sanitary Sewer</td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td>septic</td> <td>Street Lights</td> <td></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>seems adequate</td> </tr> <tr> <td>Storm Sewer</td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td></td> <td>Alley</td> <td></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Average/neighborhood</td> </tr> </table>	Utilities	Public	Other	Provider/Description	Off-site Improvements	Type	Public	Private	Topography	Electricity	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Street	asphalt	<input checked="" type="checkbox"/>	<input type="checkbox"/>	mostly level	Gas	<input type="checkbox"/>	<input checked="" type="checkbox"/>	propane	Curb/Gutter		<input type="checkbox"/>	<input type="checkbox"/>	50895 sf	Water	<input checked="" type="checkbox"/>	<input type="checkbox"/>		Sidewalk		<input type="checkbox"/>	<input type="checkbox"/>	Rectangular	Sanitary Sewer	<input type="checkbox"/>	<input checked="" type="checkbox"/>	septic	Street Lights		<input type="checkbox"/>	<input type="checkbox"/>	seems adequate	Storm Sewer	<input type="checkbox"/>	<input type="checkbox"/>		Alley		<input type="checkbox"/>	<input type="checkbox"/>	Average/neighborhood	Other site elements: <input checked="" type="checkbox"/> Inside Lot <input type="checkbox"/> Corner Lot <input type="checkbox"/> Cul de Sac <input type="checkbox"/> Underground Utilities <input type="checkbox"/> Other (describe)
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	FEMA Spec'l Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	FEMA Flood Zone X																																																						
	FEMA Map # 060752/06071C/5840H	FEMA Map Date 08/28/2008																																																						
	Site Comments: Subject is average size, desirable lot.																																																							

DESCRIPTION OF THE IMPROVEMENTS	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th>General Description</th> <th>Exterior Description</th> <th>Foundation</th> <th>Basement</th> <th>Heating</th> </tr> <tr> <td># of Units 1 <input type="checkbox"/> Acc. Unit</td> <td>Foundation raised/pier/gd</td> <td>Slab</td> <td><input checked="" type="checkbox"/> None</td> <td>Type fau</td> </tr> <tr> <td># of Stories 1</td> <td>Exterior Walls wd/gd</td> <td>Crawl Space</td> <td>Area Sq. Ft. 0</td> <td>Fuel gas</td> </tr> <tr> <td>Type <input checked="" type="checkbox"/> Det. <input type="checkbox"/> Att. <input type="checkbox"/></td> <td>Roof Surface comp/gd</td> <td>Basement</td> <td>% Finished</td> <td></td> </tr> <tr> <td>Design (Style) Manufactured</td> <td>Gutters & Dwnspts. no/yes/gd</td> <td>Sump Pump <input type="checkbox"/></td> <td>Ceiling</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Existing <input checked="" type="checkbox"/> Proposed <input type="checkbox"/> Und.Cons.</td> <td>Window Type Double/avg</td> <td>Dampness <input type="checkbox"/></td> <td>Walls</td> <td></td> </tr> <tr> <td>Actual Age (Yrs.) 0</td> <td>Storm/Screens Yes/avg</td> <td>Settlement</td> <td>Floor</td> <td>Cooling yes</td> </tr> <tr> <td>Effective Age (Yrs.) 0</td> <td></td> <td>Infestation</td> <td>Outside Entry</td> <td>Other</td> </tr> </table>	General Description	Exterior Description	Foundation	Basement	Heating	# of Units 1 <input type="checkbox"/> Acc. Unit	Foundation raised/pier/gd	Slab	<input checked="" type="checkbox"/> None	Type fau	# of Stories 1	Exterior Walls wd/gd	Crawl Space	Area Sq. Ft. 0	Fuel gas	Type <input checked="" type="checkbox"/> Det. <input type="checkbox"/> Att. <input type="checkbox"/>	Roof Surface comp/gd	Basement	% Finished		Design (Style) Manufactured	Gutters & Dwnspts. no/yes/gd	Sump Pump <input type="checkbox"/>	Ceiling		<input type="checkbox"/> Existing <input checked="" type="checkbox"/> Proposed <input type="checkbox"/> Und.Cons.	Window Type Double/avg	Dampness <input type="checkbox"/>	Walls		Actual Age (Yrs.) 0	Storm/Screens Yes/avg	Settlement	Floor	Cooling yes	Effective Age (Yrs.) 0		Infestation	Outside Entry	Other	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th>Interior Description</th> <th>Appliances</th> <th>Attic <input type="checkbox"/> None</th> <th>Amenities</th> <th>Car Storage <input type="checkbox"/> None</th> </tr> <tr> <td>Floors vynl/crpt/gd</td> <td>Refrigerator <input type="checkbox"/></td> <td>Stairs <input type="checkbox"/></td> <td>Fireplace(s) # 1</td> <td>Garage # of cars (4 Tot.)</td> </tr> <tr> <td>Walls Dry wall/avg</td> <td>Range/Oven <input checked="" type="checkbox"/></td> <td>Drop Stair <input type="checkbox"/></td> <td>Woodstove(s) # 0</td> <td>Attach. _____</td> </tr> <tr> <td>Trim/Finish Baseboards/avg</td> <td>Disposal <input checked="" type="checkbox"/></td> <td>Scuttle <input type="checkbox"/></td> <td></td> <td>Detach. 2</td> </tr> <tr> <td>Bath Floor vynl/gd</td> <td>Dishwasher <input checked="" type="checkbox"/></td> <td>Doorway <input type="checkbox"/></td> <td></td> <td>Blt.-In _____</td> </tr> <tr> <td>Bath Wainscot fbqls/gd</td> <td>Fan/Hood <input type="checkbox"/></td> <td>Floor <input type="checkbox"/></td> <td></td> <td>Carport _____</td> </tr> <tr> <td>Doors wd/gd</td> <td>Microwave <input checked="" type="checkbox"/></td> <td>Heated <input type="checkbox"/></td> <td></td> <td>Driveway 2</td> </tr> <tr> <td></td> <td>Washer/Dryer <input type="checkbox"/></td> <td>Finished <input type="checkbox"/></td> <td></td> <td>Surface concrete</td> </tr> </table>	Interior Description	Appliances	Attic <input type="checkbox"/> None	Amenities	Car Storage <input type="checkbox"/> None	Floors vynl/crpt/gd	Refrigerator <input type="checkbox"/>	Stairs <input type="checkbox"/>	Fireplace(s) # 1	Garage # of cars (4 Tot.)	Walls Dry wall/avg	Range/Oven <input checked="" type="checkbox"/>	Drop Stair <input type="checkbox"/>	Woodstove(s) # 0	Attach. _____	Trim/Finish Baseboards/avg	Disposal <input checked="" type="checkbox"/>	Scuttle <input type="checkbox"/>		Detach. 2	Bath Floor vynl/gd	Dishwasher <input checked="" type="checkbox"/>	Doorway <input type="checkbox"/>		Blt.-In _____	Bath Wainscot fbqls/gd	Fan/Hood <input type="checkbox"/>	Floor <input type="checkbox"/>		Carport _____	Doors wd/gd	Microwave <input checked="" type="checkbox"/>	Heated <input type="checkbox"/>		Driveway 2		Washer/Dryer <input type="checkbox"/>	Finished <input type="checkbox"/>		Surface concrete
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Finished area above grade contains: 5 Rooms 4 Bedrooms 2.0 Bath(s) 1,980 Square Feet of Gross Living Area Above Grade																																																																																		
Additional features: none																																																																																		
Describe the condition of the property (including physical, functional and external obsolescence): Subject will be a brand new manufactured home.																																																																																		

RESIDENTIAL APPRAISAL REPORT

File No.: 15445

My research did did not reveal any prior sales or transfers of the subject property for the three years prior to the effective date of this appraisal.

Data Source(s): Ndc

1st Prior Subject Sale/Transfer	Analysis of sale/transfer history and/or any current agreement of sale/listing: <u>Subject was purchased as land only.</u>
Date: 11/14/2019	
Price: 36,500	
Source(s): PQ	
2nd Prior Subject Sale/Transfer	
Date:	
Price:	
Source(s):	

SALES COMPARISON APPROACH TO VALUE (if developed) The Sales Comparison Approach was not developed for this appraisal.

FEATURE	SUBJECT	COMPARABLE SALE # 1			COMPARABLE SALE # 2			COMPARABLE SALE # 3		
Address	0 Dale Evans Pkwy Apple Valley, CA 92307	15485 Blackfoot Rd Apple Valley, Ca 92307			15544 Dale Evans Pkwy Apple Valley, Ca 92307			15482 Comanche Rd Apple Valley, Ca 92307		
Proximity to Subject		0.81 miles SE			0.68 miles S			0.84 miles SE		
Sale Price	\$	\$ 230,000			\$ 242,000			\$ 285,000		
Sale Price/GLA	\$ /sq.ft.	\$ 129.65 /sq.ft.			\$ 127.91 /sq.ft.			\$ 126.16 /sq.ft.		
Data Source(s)	NDC,APN	MLS#518826;DOM 11			MLS#510598;DOM 116			MLS#513209;DOM 45		
Verification Source(s)	Inspection	PQ, DOC# 570419			PQ, DOC# 272702			PQ, DOC# 212732		
VALUE ADJUSTMENTS	DESCRIPTION	DESCRIPTION	+(-) \$ Adjust.	DESCRIPTION	+(-) \$ Adjust.	DESCRIPTION	+(-) \$ Adjust.			
Sales or Financing Concessions		ArmLth 0		ArmLth 3500	-3,500	ArmLth 0				
Date of Sale/Time		s11/15/2019		s08/09/2019		c06/25/2019				
Rights Appraised	Fee Simple	Fee simple		Fee simple		Fee simple				
Location	Average	Average/Horse		Average		Average/Horse				
Site	50,895 sf	43560 sf		18530 sf	+16,182	43500 sf				
View	Mtn/Desert/avg	Mountain/avg		Mtn/Desert/avg		Mountain/avg				
Design (Style)	Manufactured	Ranch	-20,000	Ranch	-20,000	Ranch	-20,000			
Quality of Construction	Average	Average		Average		Average				
Age	0	32	+32,000	40	+40,000	35	+35,000			
Condition	GOOD/NEW	Average	+20,000	Average+	+10,000	Good				
Above Grade	Total Bdrms Baths	Total Bdrms Baths		Total Bdrms Baths	-8,000	Total Bdrms Baths	-8,000			
Room Count	5 4 2.0	6 3 2.0		8 4 3.0		9 5 3.0				
Gross Living Area	1,980 sq.ft.	1,774 sq.ft.	+7,210	1,892 sq.ft.		2,259 sq.ft.	-9,765			
Basement & Finished Rooms Below Grade	0	0		0		0				
Functional Utility	Average	Average		Average		Average				
Heating/Cooling	Central/Central	Central/Central		Central/Central		Central/Central				
Energy Efficient Items	none	Solar	-12,000	None		None				
Garage/Carport	Garage 2	Garage 2		Garage 2		Garage 3	-5,000			
Porch/Patio/Deck	Prch	Prch/Cvd Pat		Prch/Cvd Pat		Prch				
Fireplace/wd stove/firepit	fireplace 1	Fireplace 1		Fireplace 1		Fireplace 1				
Pool/spa/bbq/rv/bsktbl	None	None		Pool/Spa	-15,000	Corral	-5,000			
Upgrades kitchen/baths	Kit/Bth/Flr/Pt	Kitchen		Kit/Bth/Flr(partial)		Bath				
Net Adjustment (Total)		<input checked="" type="checkbox"/> + <input type="checkbox"/> -	\$ 27,210	<input checked="" type="checkbox"/> + <input type="checkbox"/> -	\$ 19,682	<input type="checkbox"/> + <input checked="" type="checkbox"/> -	\$ -12,765			
Adjusted Sale Price of Comparables			\$ 257,210		\$ 261,682		\$ 272,235			

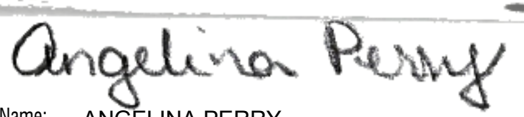
Summary of Sales Comparison Approach All comparables resembled subject. All sales were given consideration in establishing value. All comparables were taken from the same market area and are exposed to similar factors. The adjustments made are the markets reaction to those items of significant difference. Adjustments for gla differences were made at \$35.00/sf for variances that exceed 100 sf. Lot size adjustments were made for differences over 2,000 sq ft. Age is adjusted per year for variances over 20 years at \$100 for single family and \$200 for manufactured homes. Fireplace is adjusted at \$3,000. Paired sales analysis was used for adjustments and these represent the actions of typical buyer's and seller's. Recent and most similar sales held the most weight and active/pending supported value.

Indicated Value by Sales Comparison Approach \$ 260,000



RESIDENTIAL APPRAISAL REPORT

File No.: 15445

COST APPROACH	COST APPROACH TO VALUE (if developed) <input checked="" type="checkbox"/> The Cost Approach was not developed for this appraisal.	
	Provide adequate information for replication of the following cost figures and calculations.	
	Support for the opinion of site value (summary of comparable land sales or other methods for estimating site value):	
	ESTIMATED <input type="checkbox"/> REPRODUCTION OR <input type="checkbox"/> REPLACEMENT COST NEW	
	Source of cost data:	OPINION OF SITE VALUE = \$ 37,000
	Quality rating from cost service: Effective date of cost data:	DWELLING Sq.Ft. @ \$ 55.00 = \$
	Comments on Cost Approach (gross living area calculations, depreciation, etc.):	Sq.Ft. @ \$ = \$
		Sq.Ft. @ \$ = \$
		Sq.Ft. @ \$ = \$
		Sq.Ft. @ \$ = \$
INCOME APPROACH	INCOME APPROACH TO VALUE (if developed) <input checked="" type="checkbox"/> The Income Approach was not developed for this appraisal.	
	Estimated Monthly Market Rent \$ X Gross Rent Multiplier = \$	Indicated Value by Income Approach
	Summary of Income Approach (including support for market rent and GRM):	
PUD	PROJECT INFORMATION FOR PUDs (if applicable) <input type="checkbox"/> The Subject is part of a Planned Unit Development.	
	Legal Name of Project:	
	Describe common elements and recreational facilities:	
RECONCILIATION	Indicated Value by: Sales Comparison Approach \$ 260,000 Cost Approach (if developed) \$ Income Approach (if developed) \$	
	Final Reconciliation The sales approach was given the most weight, as it reflects the actions and/or typical buyers and sellers in the market place. The income approach is not necessary to develop a credible opinion of value and has not been developed. The cost approach is considered supportive, but in this market place buyers and sellers typically do not buy or sell based on new construction cost to build.	
	This appraisal is made <input type="checkbox"/> "as is", <input checked="" type="checkbox"/> subject to completion per plans and specifications on the basis of a Hypothetical Condition that the improvements have been completed, <input type="checkbox"/> subject to the following repairs or alterations on the basis of a Hypothetical Condition that the repairs or alterations have been completed, <input type="checkbox"/> subject to the following required inspection based on the Extraordinary Assumption that the condition or deficiency does not require alteration or repair:	
	<input checked="" type="checkbox"/> This report is also subject to other Hypothetical Conditions and/or Extraordinary Assumptions as specified in the attached addenda.	
	Based on the degree of inspection of the subject property, as indicated below, defined Scope of Work, Statement of Assumptions and Limiting Conditions, and Appraiser's Certifications, my (our) Opinion of the Market Value (or other specified value type), as defined herein, of the real property that is the subject of this report is: \$ 260,000, as of: 12/01/2019, which is the effective date of this appraisal. If indicated above, this Opinion of Value is subject to Hypothetical Conditions and/or Extraordinary Assumptions included in this report. See attached addenda.	
	A true and complete copy of this report contains 20 pages, including exhibits which are considered an integral part of the report. This appraisal report may not be properly understood without reference to the information contained in the complete report.	
	Attached Exhibits:	
	<input checked="" type="checkbox"/> Scope of Work <input type="checkbox"/> Limiting Cond./Certifications <input type="checkbox"/> Narrative Addendum <input checked="" type="checkbox"/> Photograph Addenda <input checked="" type="checkbox"/> Sketch Addendum	
	<input checked="" type="checkbox"/> Map Addenda <input checked="" type="checkbox"/> Additional Sales <input type="checkbox"/> Cost Addendum <input type="checkbox"/> Flood Addendum <input type="checkbox"/> Manuf. House Addendum	
	<input checked="" type="checkbox"/> Hypothetical Conditions <input type="checkbox"/> Extraordinary Assumptions <input type="checkbox"/> _____	
SIGNATURES	Client Contact: _____ Client Name: Federal Home Loans	
	E-Mail: _____ Address: 5540 Ruffin Rd, San Diego, CA 92123	
	APPRaiser	
	SUPERVISORY APPRAISER (if required) or CO-APPRAISER (if applicable)	
		
	Supervisory or Co-Appraiser Name: _____	
	Company: _____	
	Phone: _____ Fax: _____	
	E-Mail: _____	
	Date of Report (Signature): 12/05/2019	
License or Certification #: AR029894 State: CA		
Designation: Appraiser		
Expiration Date of License or Certification: 01/26/2021		
Inspection of Subject: <input type="checkbox"/> Interior & Exterior <input checked="" type="checkbox"/> Exterior Only <input type="checkbox"/> None		
Date of Inspection: 12/01/2019		

Supplemental Addendum

File No. 15445

Borrower/Client	Crystal Blanco						
Property Address	Dale Evans Pkwy						
City	Apple Valley	County	San Bernardino	State	CA	Zip Code	92307
Lender	Federal Home Loans						

Subject

A physical observation of the property was completed on the effective date of this report. The physical observation process is intended to be sufficient to identify the readily apparent attributes of the subject site and improvements within the context of developing an opinion of value and within the typical scope of observation normally employed by appraisers for valuation purposes. It should not be confused with a comprehensive technical property inspection such as, but not limited to, a building inspector, home inspector, engineer or any other technically trained professional. Unless otherwise indicated, the appraiser has not observed areas not viewable from the ground or systems below the ground; such as, but not limited to, the attic and crawl space, septic systems, wells, installation, inside walls, plumbing and electrical. All components physical and mechanical are assumed to be in working order unless otherwise specified. If the client has any questions or concerns regarding such components of the structure, it is the client's responsibility to use due diligence and order the appropriate specific qualified inspector to satisfy any concerns. If the client has any questions or concerns regarding such components of the structure, it is the client's responsibility to use due diligence and order the appropriate specific qualified inspector to satisfy any concerns. The appraiser is not aware of any major repairs or damage. If there are any unknown major repairs later discovered, the value may be affected.

Brittany Stump assisted in collection, analysis and research of market data and the subjects neighborhood data, including assisting in the selection comparables, exterior and interior of subject property inspection, as well as assisted in the reconciliation. Brittany Stump also assisted in data entry of this report.

The market condition addendum

At the top of urar page 3, neighborhood sfr comparable properties were exported within 3 mile of subject, within subjects neighborhood within 1 year. These market place comparable properties however still vary in comparable characteristics and represent a large pool of comparables in which the most similar comparables were selected.

The neighborhood ranges found on urar page 1 describe the neighborhood which is a larger range of properties with different characteristics that make of the neighborhood; which may not be best described as similar comparables and therefore more similar comparables were narrowed down and selected from this pool based on sqft size, lot size, unit count, bedroom count, condition and similar characteristics.

Market Condition addendum fields were populated from crmls using the overall trends and conditions in the subject neighborhood, consistent within the boundaries listed on urar page 1 neighborhood section, from crmls data.

The Market area is a mix of size and large sq ft living areas. The market area also consist of a mix of small and larger sized lot parcels. This variance is typical for the neighborhood and accounts for the value range in the neighborhood section and line/ net/ gross adjustments.

the Subject market appeal regarding size is normal for the market place; the subject does not have an averse effect of marketability based on lot size or living sqft size; the subject market appeal is normal for the market place; the subject does not have an averse effect of marketability.

Consequently, There is no adverse effect of prominent value verses final value. The subject is not over improved, and is typical of the market place.

The Market condition addendum represents the neighborhood in general; however, the top of page 2 of the uad form represents similar comparables for the subject specifically; which accounts for the difference between the two forms.

At the top of urar page 2, comparable properties were narrowed down by using 20% of the subjects living sqft, within 1 mile of subject and dated for 1 year. These properties better represent similar comparables; however, still varies in comparable characteristics.

The neighborhood ranges found on urar page 1 describe the neighborhood which is a larger range of properties with different characteristics that make of the neighborhood; which may not be best described as similar comparables and therefore the fields varies between the two sections.

Market Condition addendum fields were populated from crmls using the overall trends and conditions in the subject neighborhood consistent with urar page 1, and will vary from the top of page 2 of the uad form.

The Market area is a mix of size and large sq ft homes. The market area also consist of a mix of small and larger sized lot parcels. This variance is typical for the neighborhood and accounts for the value range in the neighborhood section and line/ net/ gross adjustments.

the Subject market appeal is normal for the market place; the subject does not have an averse effect of marketability.

Consequently, There is no adverse effect of prominent value verses final value. The subject is not under improved, and is typical of the market place.

Comparables

Per Mls listings comparables view may be labeled as trees or woods. Both labels are interchangeable and represent the same view description.

Per Appraisers physical inspection from the street and MLS listings. Below Grade areas/basement areas for comparables were obtained from NDC recorded title records and deemed reliable. Due To limited comparable sales, comparables over 1 mile where used. Comparables available were limited. Comparables available may extend over 6 months.

Intended Use and User:

The intended user of this appraisal report is the lender/client. The intended use is to evaluate the property that is the subject of this appraisal for this mortgage finance transaction, subject to the stated scope of work, purpose of the appraisal, reporting

Supplemental Addendum

File No. 15445

Borrower/Client	Crystal Blanco						
Property Address	Dale Evans Pkwy						
City	Apple Valley	County	San Bernardino	State	CA	Zip Code	92307
Lender	Federal Home Loans						

requirements of the appraisal report form and definition of market value. No additional intended users are identified by the appraiser; although, the borrower and/or third party may receive a copy of the appraisal, it does not mean that the borrower or third party is an "intended user" as that term is defined in the urar form.

Site:

The subject site is typical in terms of size and function. The site has average site improvements. No apparent adverse site adverse conditions were noted.

Other land use on URAR page 1 refers to government agencies, houses of worship, schools, parks, memorial park, vacant land, bodies of water, etc. No factors noted to detract from property values.

Final Reconciliation:

Primary emphasis was placed on the sales comparison approach, as it best reflects the actions of buyers and sellers in the marketplace. The cost approach contributes additional support to the value estimate. The cost approach is not intended for insurance purpose. According to the principal of substitution, a buyer will not pay more for a property than an equally desirable property. **Subject was not appraised by me in the last 3 years or any services performed in any other capacity.**

Exposure time is 10 to 90 days.

No adjustment was given as to pending sales. Actives may be given a negative adjustment to reflect typical purchase under listing price is at high end of average. All comparables agents were emailed and called for concession if not on MLS listing. Any that didn't respond after several attempts concessions were listed as unknown.

As part of this assignment and scope of work, the appraiser has completed a visual inspection of readily observable areas and has reported any noted deficiencies or health and safety concerns. These are based only on visible and observable conditions at the time of inspection. The appraiser is not a building contractor or licensed building inspector, nor is the appraiser qualified to survey or analyze as such. This appraisal report is not a replacement for a "home inspection" report. Appraiser has conducted an exterior and/ or interior inspection of the subject property for purpose of arriving at an opinion of value. Only matters bearing on value, health and safety conditions apparent at the time of inspection, and items of required disclosure are identified in this report. The appraiser offers no opinion as to whether the subject property is in compliance with all applicable building code; such a determination is beyond the scope of this appraisal. Value may be affected should any information in this report found to be different that stated.

Not a home inspection

The appraisal report does not guarantee that the property is free of defects. The appraiser is not a home inspector and does not warrant the components of the subject; these items include but are not limited to structural items such as the roof, roofing materials, foundation, concrete, walls, siding, windows, well, septic or sewage system, pool, solar array system, plumbing, heating, air conditioning or appliances.

The Intended user should engage a home inspector or other appropriate, licensed professional to address matters of concern that are beyond the scope of this appraisal. If parties of this transaction have any concerns regarding any mechanical or structural physical problems, conditions, infestation, contamination, or other issues regarding the subject property, it is recommended that a licensed expert , trained in that specific field of concern, be consulted.

The Appraiser cannot rule out the possibility of lead based paint, radon, asbestos, mold or a variety of other environmental hazards and conditions. The appraiser has no knowledge of the existence of such hazard material on or in the property. The presence of hazardous substance may affect subject value if discovered. No responsibility is assumed for adverse conditions that are beyond the scope of work of an appraisal; the intended user should consult a field expert to determine if hazard conditions exist.

Unless Otherwise noted in this report, a title report, environmental report, seismic report, construction or repair estimates or soil report were not submitted to the appraiser for review. Additionally, the expertise of the appraiser does not extend to building, termite or environmental hazard inspection and the appraiser will not be liable nor responsible for any discovery made by any field expert that was undiscovered to the appraiser prior to inspection and any discovery after appraisal inspection.

Subject Square footage for gross living area was obtained by physically measuring the exterior and measurement may be rounded to the nearest foot; the gla square footage may vary from the county measurement of record or mls.

The cost approach may be significantly lower than the as- is opinion of value due to weakness in estimation of depreciation. Depreciation is calculated with an economic life of 85 years. This is typical for the area. The cost approach is discounted due to its weakness in estimation of depreciation. The sales approach was given the most weight, as it reflects the actions and/or typical buyers and sellers in the market place. The cost approach is considered supportive, and is not necessary to develop a credible opinion of value. In this market place buyers and sellers typically do not buy or sell based on new construction cost to build. The Income Approach is not necessary to develop a credible opinion of value and has not been developed.

Subject Photo Page

Borrower/Client	Crystal Blanco						
Property Address	0 Dale Evans Pkwy						
City	Apple Valley	County	San Bernardino	State	CA	Zip Code	92307
Lender	Federal Home Loans						

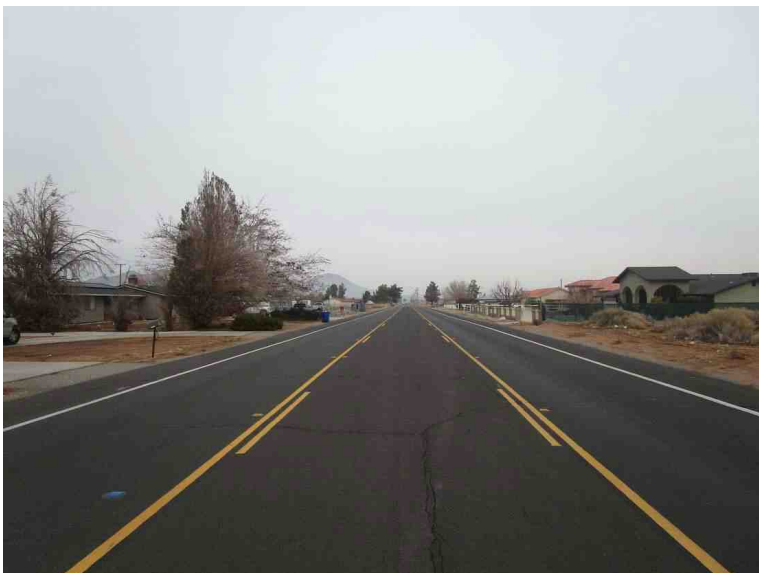


Subject Front

0 Dale Evans Pkwy
Sales Price
Gross Living Area 1,980
Total Rooms 5
Total Bedrooms 4
Total Bathrooms 2.0
Location Average
View Mtn/Desert/avg
Site 50,895 sf
Quality Average
Age 0



Subject Rear



Subject Street

Comparable Photos #1-#3

Borrower/Client	Crystal Blanco				
Property Address	Dale Evans Pkwy				
City	Apple Valley	County	San Bernardino	State	CA
				Zip Code	92307
Lender	Federal Home Loans				



Comparable 1

15485 Blackfoot Rd
 Prox. to Subject 0.81 miles SE
 Sales Price 230,000
 Gross Living Area 1,774
 Total Rooms 6
 Total Bedrooms 3
 Total Bathrooms 2.0
 Location Average/Horse
 View Mountain/avg
 Site 43560 sf
 Quality Average
 Age 32



Comparable 2

15544 Dale Evans Pkwy
 Prox. to Subject 0.68 miles S
 Sales Price 242,000
 Gross Living Area 1,892
 Total Rooms 8
 Total Bedrooms 4
 Total Bathrooms 3.0
 Location Average
 View Mtn/Desert/avg
 Site 18530 sf
 Quality Average
 Age 40



Comparable 3

15482 Comanche Rd
 Prox. to Subject 0.84 miles SE
 Sales Price 285,000
 Gross Living Area 2,259
 Total Rooms 9
 Total Bedrooms 5
 Total Bathrooms 3.0
 Location Average/Horse
 View Mountain/avg
 Site 43500 sf
 Quality Average
 Age 35

Comparable Photos #4-#6

Borrower/Client	Crystal Blanco				
Property Address	Dale Evans Pkwy				
City	Apple Valley	County	San Bernardino	State	CA Zip Code 92307
Lender	Federal Home Loans				



Comparable 4

14345 Quinnault Rd
 Prox. to Subject 2.63 miles SE
 Sales Price 175,000
 Gross Living Area 1,512
 Total Rooms 5
 Total Bedrooms 3
 Total Bathrooms 2.0
 Location N;;
 View Desert/avg
 Site 22128 sf
 Quality Average
 Age 18



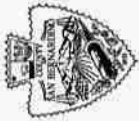
Comparable 5

23099 Lucilla Rd
 Prox. to Subject 4.54 miles SE
 Sales Price 279,000
 Gross Living Area 2,376
 Total Rooms 6
 Total Bedrooms 3
 Total Bathrooms 2.1
 Location Average/Horse
 View Mtn/Desert/avg
 Site 4.31 ac
 Quality Average
 Age 16

Comparable 6

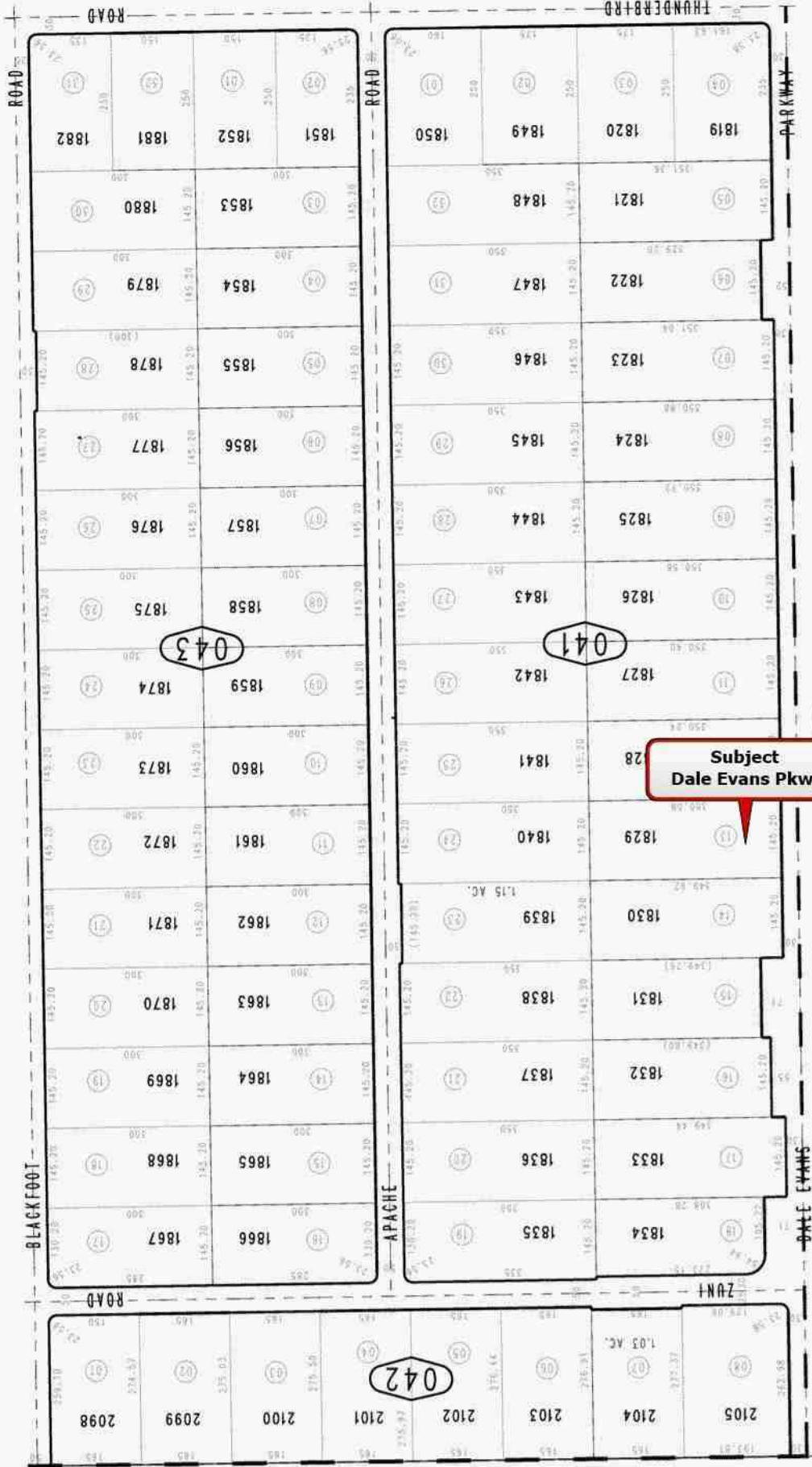
Prox. to Subject
 Sales Price
 Gross Living Area
 Total Rooms
 Total Bedrooms
 Total Bathrooms
 Location
 View
 Site
 Quality
 Age

THIS MAP IS FOR THE PURPOSE
OF AD VALOREM TAXATION ONLY.



Ptn. Apple Valley Ranchos Unit No. 5, Tract No. 3225
M.B. 43/15-18

Town of Apple Valley 0440-04
Tax Rate Area
21007



**Subject
Dale Evans Pkwy**

plat

REVISED
11/20/16 KA

Assessor's Map
Book 0440 Page 04
San Bernardino County

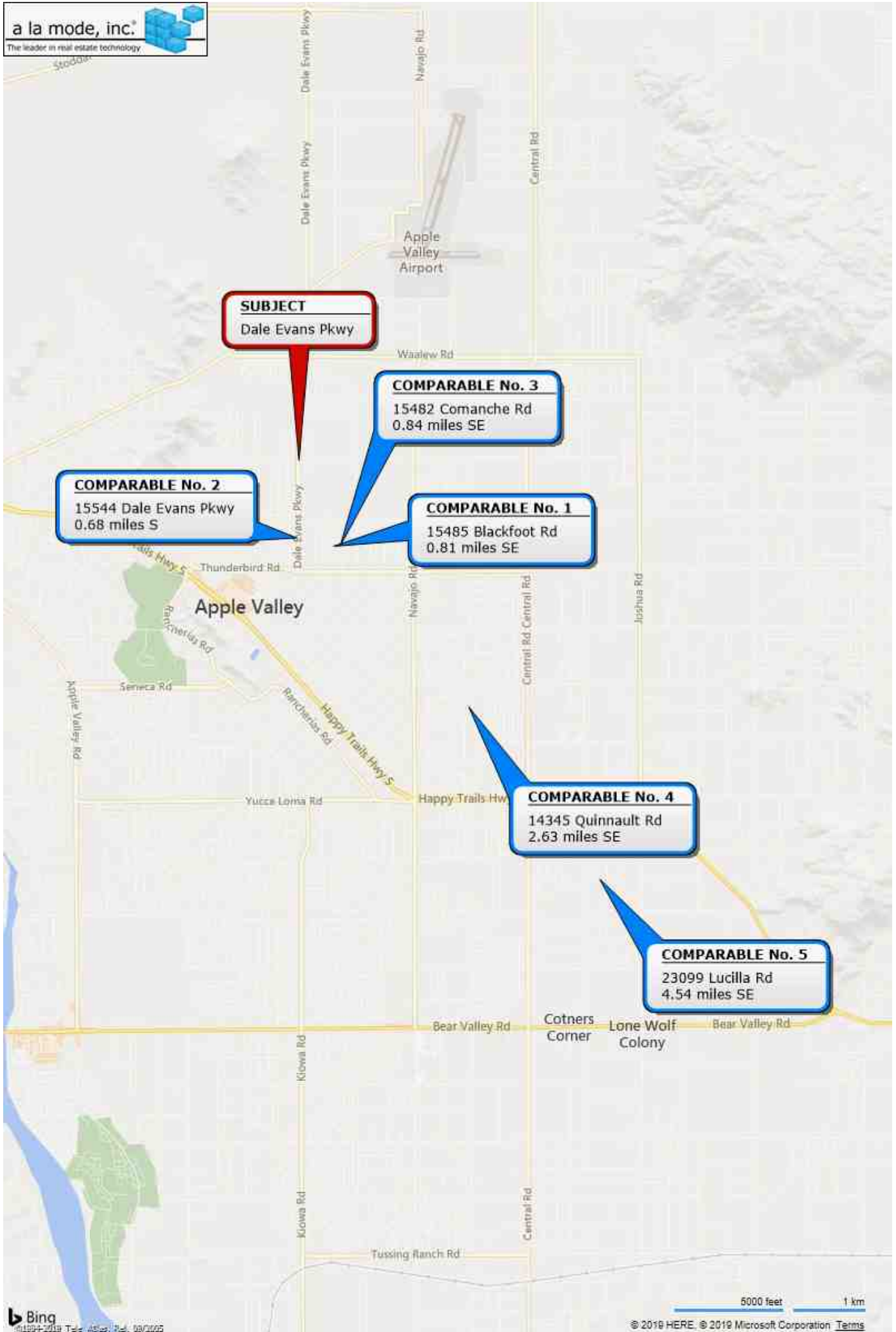
Ptn. S.W.1/4, Sec. 9
T.5N., R.3W.

0441
13

MARCH 1997

Location Map

Borrower/Client	Crystal Blanco			
Property Address	Dale Evans Pkwy			
City	Apple Valley	County	San Bernardino	State CA Zip Code 92307
Lender	Federal Home Loans			



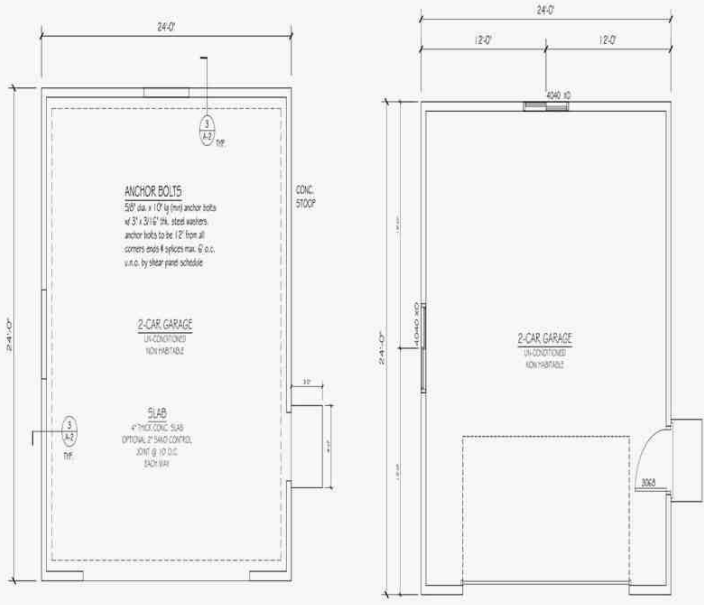
floor plan

Foundation Notes:

- All continuous exterior footings shall have $\frac{3}{4}$ " dia. x 10' sp's with washers, minimum 7" embedment into concrete, at 40' o.c. (i.o.c.) on plans. (1) anchor bolt should be located max. 12" from the end of the sill plate, min. (2) a.k. per sill plate.
- The concrete contractor and the framing contractor shall coordinate the placement of all hols, ps's, post bases and all framing hardware as per plan prior to placement of concrete.
- All interior walls shall have a rammed head with min. penetration of 1-1/4" into slab, @ 24' o.c. (i.o.c.) to be installed in accordance with ice es# actual slab thickness shall be 3-1/2" min.
- All holdowns and post anchors shall be installed according to 'smpson strong-tie' specifications and requirements of cto report 1211 and 444B, and shall be tied in place prior to foundation inspection.
- All isolated posts & beams to have 'smpson' cbs 4 c's min. (i.o.c.)
- All 'smpson' hds 4 ps's to be fastened to a 4 x 4 post min. (i.o.c.)
- Provide a min. 8" between finish grade and treated lumber untreated lumber provide 18" min. clear and 12" min. clear to girders.
- Verify floor plans, locations of all plumbing fixtures, electrical outlets and exhaust vents to o.s.a. (where applicable).
- Min. concrete wall shall be 8" for receiving mps's and hps's; verify locations of holdowns and anchor bolts with rough framing to assure proper and accurate installation.
- Provide #3 x 24' dowels at 32" o.c. and 12" from corners @ all concrete stoop and porches.
- Provide min. (1) #4 reinforcing bar at top # bottom for all continuous footing in addition (1) #4 bar extra for electrical ground, location to be verified with the electrical contractor.
- Concrete strength shall be min. 2500 psi @ 28 days, foundation drawing shall reflect the structural requirements only, refer to architectural for dimensions not shown, accuracy of the dimensions and final fit of the building shall be reviewed by the owner and the contractor prior to construction.
- waiting period for conc. slab-on-grade prior to start of construction shall be as follows:
 - walk on slab 24hrs after conc. has been poured.
 - begin wall framing 4-5 days after conc. is poured.
 - begin roof framing 7-10 days after conc. pour.
 - do not load roof prior to 14 days after conc. pour.
- All holdowns and anchor bolts for required shearforce walls shall be set in place by template prior to foundation inspection.
- The hole in required plate washers is permitted to be diagonally slotted with a width up to 3/16" larger than the bolt diameter and a slot length not to exceed 1/34", provided a square 2" x 2" notch washer is placed between the washer and the nut.
- Foundation plates and sills shall be anchored to the foundation in sds'd with minimum 1/2" anchor bolts and approved plate washers (3" x 3" x 22") bolts shall be spaced not more than 6 feet apart, there shall be a minimum of 2 bolts per piece, bolts shall not be located more than 12 inches less than 4 inches or closer than 7 bolts diameters from sill plate ends, embed bolts at least 7" into reinforced masonry or concrete.

General Information:

- Drawing and specifications are intended to be complimentary, specific information may be found in either or both.
- Exercise proper precaution to verify all existing conditions and layout of work, contractor to notify designer of any discrepancies.
 - Contractor is responsible for any error resulting from failure to exercise such precaution such error will not be considered subsequently as a basis for extra compensation. The contractor shall be responsible for layout work, all lines measurements of the building, utilities and other work excluded under.
 - Should a contractor find discrepancies in, or omissions from the drawings or specification. Or should he be in doubt as to their meaning, he shall at once notify the designer.
 - Any discrepancies, errors or omissions discovered in the contract documents by the contractor shall be brought to the attention of the designer before proceeding with related work, otherwise the contractors of such items is the responsibility of the contractor.
 - All work materials and installation shall be in strict accordance with all ordinance, state and local building codes latest edition. Design loads and code restrictions for all design considerations shall conform to the local and state codes, and all governing codes.



FOUNDATION NOTES

- 5/8" x 10' A.B. @ 32" O.C. W/ 3/4" DIA WASHERS, 1/2" FROM CORNERS, SPLICES AND ENDS.
- #4 CONC. SLAB.

FOUNDATION PLAN

scale: 1/4" = 1'-0"

General Note:

- Anchor Veneer - Wall Ties Shall be Corrosion Resistant. And, if Made of Sheet Metal, Shall Have a Minimum Size of 0.030 inch (no. 22 Galvanized Sheet Gage) by 3/4 inch Or, if of Wire, Shall be a Minimum Diameter of 0.148 inch (no. 9 B.W. Gage). Wall Ties Shall be Spaced so as to Support Not More Than 2 Square Feet of Wall Area, but not More Than 24 inches on Center Horizontally, in Seismic Zones 3 & 4, Wall Ties Shall Have a Lip or Hook on the Extended leg That Will Engage or Enclose a Horizontal Joint Reinforcement Wire Having a Diameter of 0.148 inch (no. 9 B.W. Gage) or Equivalent, the Joint Reinforcement Shall be Continuous With Butt Splices Between Ties Permitted.
- Do not Scale Drawings. Contractor Shall Rely on Written Dimensions as Given, the Contractor Shall Notify the Designer for Clarifications, if There Are any Discrepancies in the Plans Prior to Resumption of Work.
- Dimensions Shown on Floor Plans, Sections, Elevations And Details are to Face of Stud, Unless Otherwise Noted.
- The Specifications and all Consultant Drawings are Supplemental to the Architectural Drawings, it Shall Be the Contractor's Responsibility to Coordinate With the Architectural Drawings Before the Installation of any of the Consultant's Work and to Bring any Discrepancies or Conflicts to the Designer's Attention, Improperly Installed Work Shall Be Corrected by the General Contractor at his Expense and at no Expense to the Designer his Consultants, or the Owner.

CONTRACT NOTE: ALL ELECTRICAL MEDIA ASSOCIATED WITH THIS DESIGN IS THE PROPERTY OF CASA DESIGN. ANY USE, REPRODUCTION OR TRANSMISSION OF THESE PLANS WITHOUT THE EXPRESS WRITTEN CONSENT OF Casa Design IS PROHIBITED. IT IS THE CLIENT'S RESPONSIBILITY TO NOTIFY Casa Design OF ANY METHODS OR DIMENSIONS TO THE DRAWINGS SHOULD BE REFERRED TO THE CORRECTING CONSTRUCTION. ALL BUSINESS SHALL COME WITH CORRECT COUNTRY BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, AND OTHER LICENSES.

Casa Designs
11101 Box 3427
Victorville, CA 92393
email: casautilton@gmail.com

FLOOR PLAN

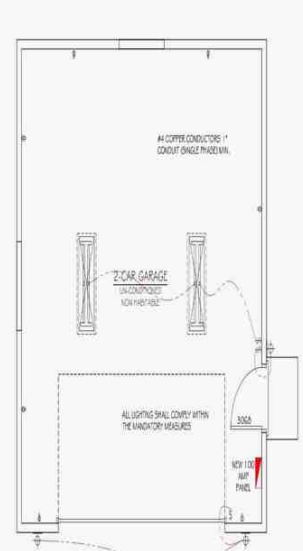
scale: 1/4" = 1'-0"



FRAMING PLAN

scale: 1/4" = 1'-0"

SHEAR PANELS:
PROVIDE BRACKET WALL AT EACH END OF EACH WALL AS SHOWN MINIMUM 2" x 3/8" x 1" BUILT WITH 1/2" WALLS @ 2' O.C. AT BOUNDARY AND 12" O.C. IN THE FIELD.
TWO ANCHOR BOLTS PER PANEL, 14 PANELS @ 2'-0" MIN. LENGTH TO WALL TO 5'-11" HEIGHT.
2 ANCHOR BOLTS AND 2 HOLDINGS 18038 MIN (UPST)



ELECTRICAL PLAN

scale: 1/4" = 1'-0"

ELECTRICAL NOTES
ALL RECEPTACLES IN SHEED, A EXTERIOR SHALL BE G.F.I. TYPE.
CONTRACTOR TO PROVIDE A PERMANENT RECEPTACLE OUTLET AND LIGHTING FIXTURE CONTROLLED BY A SWITCH LOCATED AT THE ENTRANCE.
ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICIENCY IN ACCORDANCE WITH TABLE 150.0.A ENERGY CODE 150.001.1A
RESIDENTIAL OUTDOOR LIGHTING IN ADDITION TO MEETING SECTION 150.001.1A, OUTDOOR LIGHTING SHALL MEET SECTION 150.00A.

SHEAR WALL PANEL SCHEDULE (PER 2016 CBC)

WALL TYPE	WALL SPACING	CONCRETE STRENGTH	ANCHOR BOLTS	SPACING	SPACING
5/8" DIA. STEEL W/ GALV. COATED W/ 1/2" DIA. W/ 3/4" DIA. WASHERS	16'-0"	3000	5/8" DIA. @ 32" O.C.	1/2" DIA. @ 12" O.C.	1/2" DIA. @ 12" O.C.
5/8" DIA. STEEL W/ GALV. COATED W/ 1/2" DIA. W/ 3/4" DIA. WASHERS	16'-0"	3000	5/8" DIA. @ 32" O.C.	1/2" DIA. @ 12" O.C.	1/2" DIA. @ 12" O.C.
5/8" DIA. STEEL W/ GALV. COATED W/ 1/2" DIA. W/ 3/4" DIA. WASHERS	16'-0"	3000	5/8" DIA. @ 32" O.C.	1/2" DIA. @ 12" O.C.	1/2" DIA. @ 12" O.C.
5/8" DIA. STEEL W/ GALV. COATED W/ 1/2" DIA. W/ 3/4" DIA. WASHERS	16'-0"	3000	5/8" DIA. @ 32" O.C.	1/2" DIA. @ 12" O.C.	1/2" DIA. @ 12" O.C.
5/8" DIA. STEEL W/ GALV. COATED W/ 1/2" DIA. W/ 3/4" DIA. WASHERS	16'-0"	3000	5/8" DIA. @ 32" O.C.	1/2" DIA. @ 12" O.C.	1/2" DIA. @ 12" O.C.
5/8" DIA. STEEL W/ GALV. COATED W/ 1/2" DIA. W/ 3/4" DIA. WASHERS	16'-0"	3000	5/8" DIA. @ 32" O.C.	1/2" DIA. @ 12" O.C.	1/2" DIA. @ 12" O.C.
5/8" DIA. STEEL W/ GALV. COATED W/ 1/2" DIA. W/ 3/4" DIA. WASHERS	16'-0"	3000	5/8" DIA. @ 32" O.C.	1/2" DIA. @ 12" O.C.	1/2" DIA. @ 12" O.C.
5/8" DIA. STEEL W/ GALV. COATED W/ 1/2" DIA. W/ 3/4" DIA. WASHERS	16'-0"	3000	5/8" DIA. @ 32" O.C.	1/2" DIA. @ 12" O.C.	1/2" DIA. @ 12" O.C.
5/8" DIA. STEEL W/ GALV. COATED W/ 1/2" DIA. W/ 3/4" DIA. WASHERS	16'-0"	3000	5/8" DIA. @ 32" O.C.	1/2" DIA. @ 12" O.C.	1/2" DIA. @ 12" O.C.
5/8" DIA. STEEL W/ GALV. COATED W/ 1/2" DIA. W/ 3/4" DIA. WASHERS	16'-0"	3000	5/8" DIA. @ 32" O.C.	1/2" DIA. @ 12" O.C.	1/2" DIA. @ 12" O.C.

- NOTES:**
- 1" - 1" in the table designates that the wall condition is to be applied on both faces of wall.
 2. All plywood edges must be finished with 5/8" solid blocking. Blocking shall be 12" x 12" for stud spaced at 12" o.c. and 2" o.c. otherwise.
 3. Plyer blocked off using approved retail with CBC approval.
 4. Where allowable shear values exceed 3000 psi, location of all plates and all framing members remaining edge siding from existing masonry shall not be less than 3-in nominal member. Nails shall be staggered.
 5. Where plywood is applied on both faces of wall and spacing is less than 12" inches or offset by 1/4" in offset framing members.
 6. All concrete exterior footings shall use 5/8" x 12" A.B. @ 6" o.c. for rebar for concrete system and 5/8" x 12" A.B. for rebar for post concrete system unless otherwise noted where anchor bolts shall be installed per these wall schedule.
 7. All steel framing and connections fabricate shall use 50ksi steel and use 5/8" o.c. 4-45" o.c. respectively.
 8. All steel shall have plate with a minimum of 2" x 1/2" x 3/16" thick.
 9. All wall to be concrete or masonry.

Code Summary
All construction of this project shall comply with the following:

- 2016 IBC
- 2016 CBC
- 2016 CRC
- 2016 CMC
- 2016 CEC

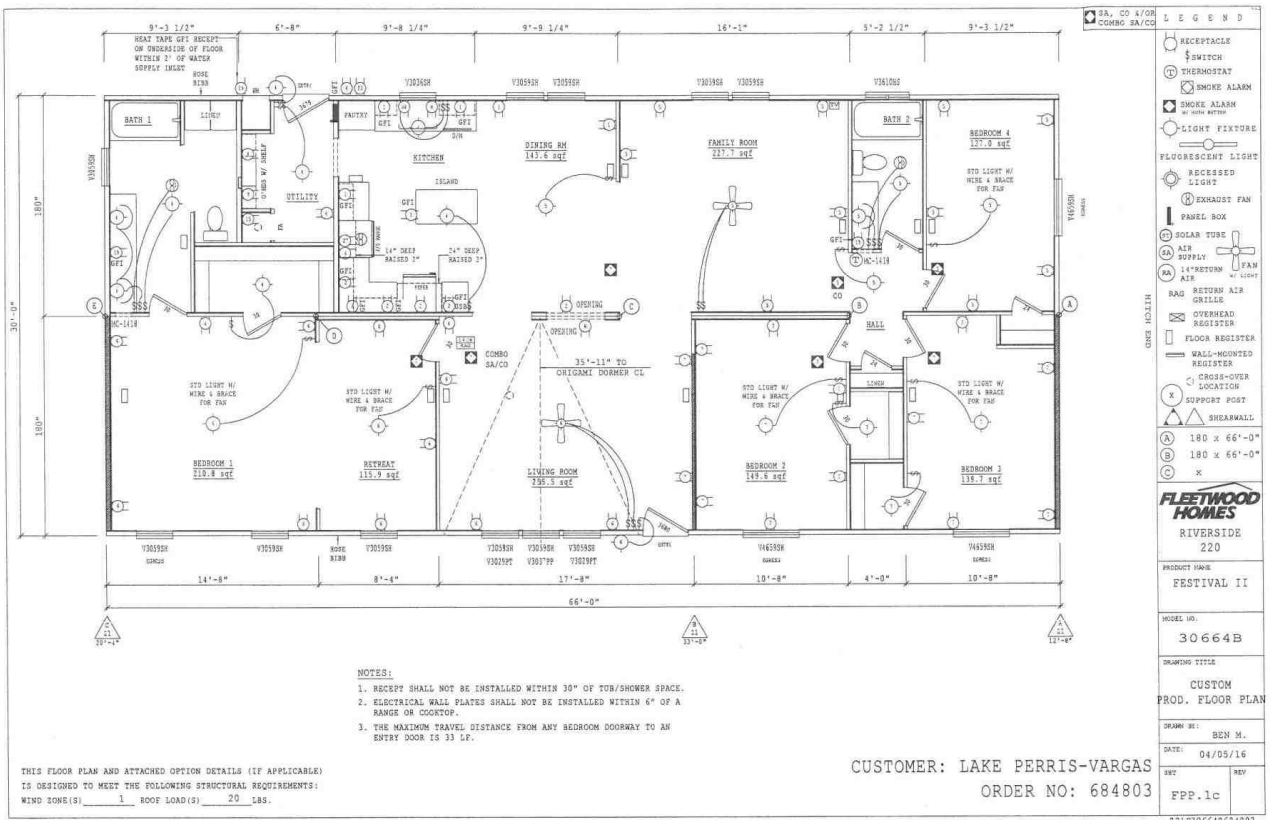
This project shall comply with all other regulations and ordinance adopted by the local governing agencies.

NO.	DATE	REVISION	BY	CHKD	APP'R

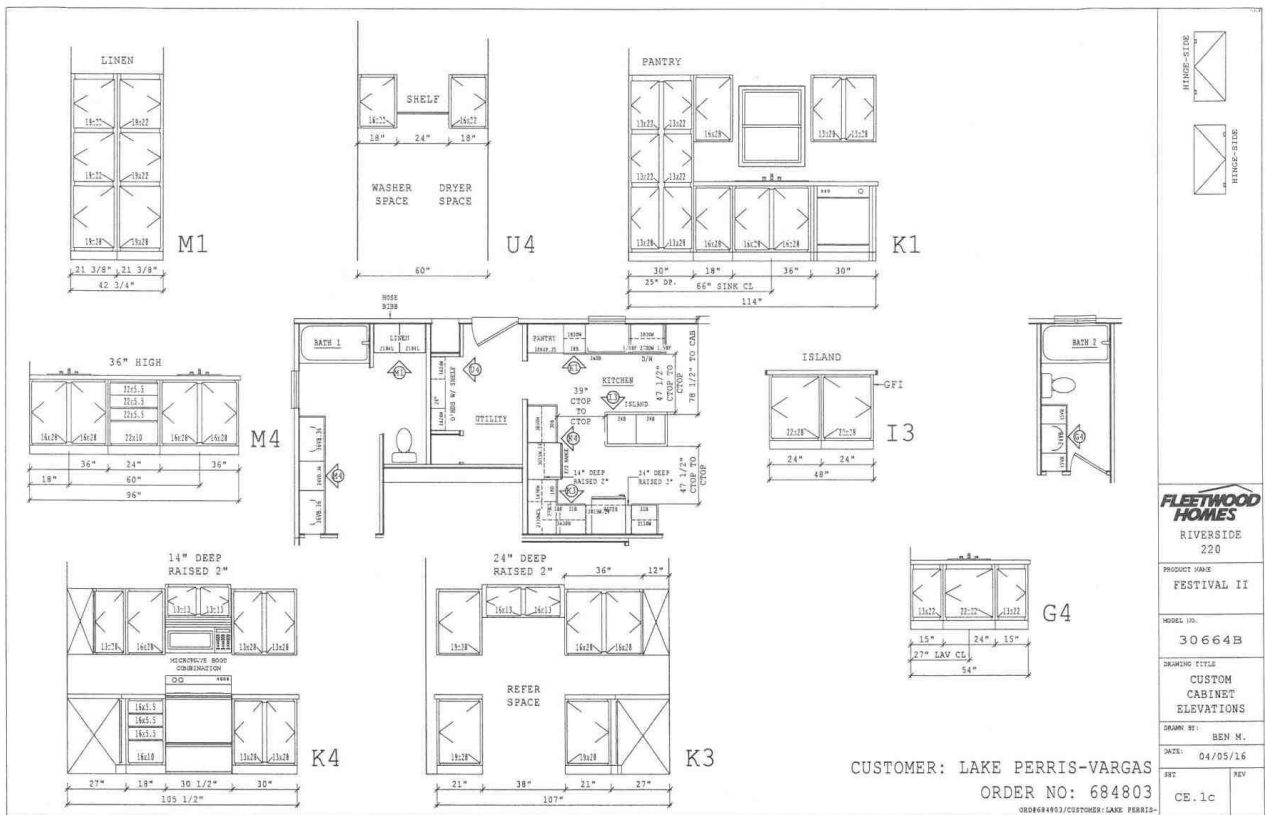
2-Car Garage
APN: 0440-04-1-13
Apple Valley, CA

Designed By: P. Ulloa
Drawn By: KSU
Date: 11.23.2019
Scale: As Shown
Sheet #: A.1

floor plan - Page 1

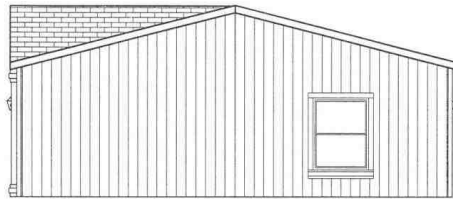


floor plan - Page 2

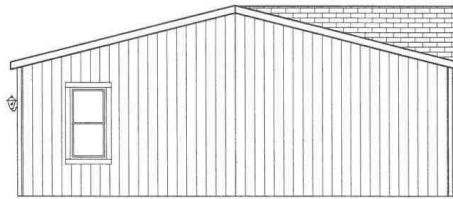


floor plan - Page 3





HITCH VIEW



REAR VIEW

**FLEETWOOD
HOMES**

RIVERSIDE
220

PRODUCT NAME
FESTIVAL II

MODEL NO.
30664B

DRAWING TITLE
CUSTOM
EXTERIOR
ELEVATIONS

DRAWN BY: BEN M.

DATE: 04/05/16

REV	REV
EE.2c	

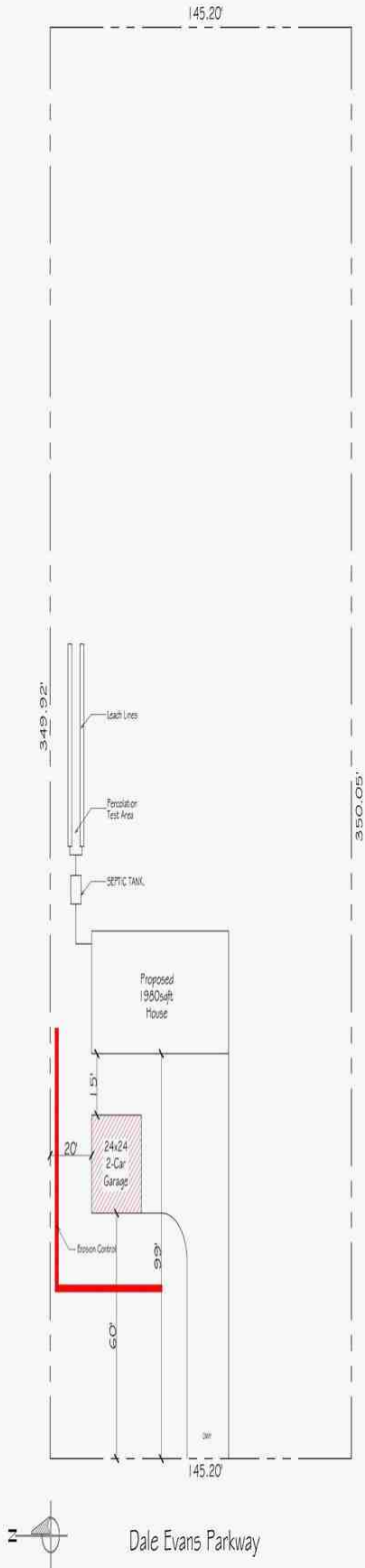
CUSTOMER: LAKE PERRIS-VARGAS

ORDER NO: 684803

08264803/CUSTOMER: LAKE PERRIS-

221F306448684803

floor plan



SITE PLAN
N.T.S.

CaSa Designs & Home Services

Design Services for the Construction Industry

House Designs • Room Additions • Tenant Improvements

- Remodel Design
- Energy Calculations (T-24)
- Structural Calculations
- Site Plans

P.O. Box 3427
Victorville, CA. 92393

760.412.0812

email: casaulloa@gmail.com

Se Habla Español

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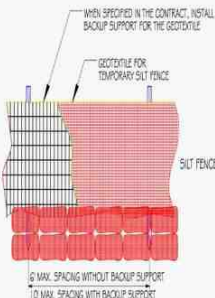
CaSa Designs
P.O. Box 3427
Victorville, CA 92393
email: casaulloa@gmail.com

NO.	DATE	REVISION	BY	CHK	APP

2-Car Garage
APN: 0440-041-13
Apple Valley, CA

EROSION CONTROL NOTES

1. MAXIMIZE RETENTION OF STORMWATER BY PLACING FENCE AS FAR AWAY FROM THE TOP OF SLOPE AS POSSIBLE WITHOUT ENCRUSTING ON SENSITIVE AREAS OR OUTSIDE OF THE CLEARING BOUNDARIES.
2. INSTALL SILT FENCING ALONG CONTOURS WHENEVER POSSIBLE.
3. INSTALL THE ENDS OF THE SILT FENCE TO POINT SLIGHTLY UP SLOPE TO PREVENT FLOWING AROUND THE ENDS OF THE FENCE.
4. PERFORM MAINTENANCE IN ACCORDANCE WITH STANDARD SPECIFICATIONS.



ELEVATION VIEW
SCALE: NTS



Sheet Index

- CVR - Site & Erosion Control Plan
- A-1.1 - Foundation, Floor, Framing & Electrical plan
- A-2.1 - Elevations, Section & Details

Building Designer
CaSa Designs & Home Services
P.O. Box 3427
Victorville, CA. 92393
760.412.0812
email: casaulloa@gmail.com

Owner:
Grace Property Inc. LLC.
2208 Ins Court
Saint Louis, MO 93136

Code Summary

All construction of this project shall comply with the following:

- 2016 CBC
- 2016 CRC
- 2016 CEC
- 2016 CMC
- 2016 CPC
- 2016 CErgyC
- 2016 CFC
- 2016 CGB

This project shall comply with all other regulations and ordinance adopted by the local governing agencies.

Designed By:	P. Ulloa
Drawn By:	ASD
Date:	11.23.2019
Scale:	As Shown
Sheet #	A.0



Business, Consumer Services & Housing Agency
BUREAU OF REAL ESTATE APPRAISERS
REAL ESTATE APPRAISER LICENSE

Angelina A. Perry

has successfully met the requirements for a license as a residential real estate appraiser in the State of California and is, therefore, entitled to use the title:

“Certified Residential Real Estate Appraiser”

This license has been issued in accordance with the provisions of the Real Estate Appraisers' Licensing and Certification Law.

BREA APPRAISER IDENTIFICATION NUMBER: AR 029894

Effective Date: January 27, 2019
Date Expires: January 26, 2021

Jim Martin
Jim Martin, Bureau Chief, BREA

3044960

THIS DOCUMENT CONTAINS A TRUE WATERMARK - HOLD UP TO LIGHT TO SEE "CHAIN LINK"



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
08/23/2019

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must have **ADDITIONAL INSURED** provisions or be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER RIVERTON INSURANCE AGENCY CORP PO Box 236 605 Main St., Suite 102 Riverton NJ 08077	CONTACT NAME: Kelly Stewart PHONE (A/C, No, Ext): (800) 882-4410 FAX (A/C, No): (858) 273-8026 E-MAIL ADDRESS: KellyS@alains.com													
	<table border="1"> <tr> <th>INSURER(S) AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> <tr> <td>INSURER A : Stratford Insurance Company</td> <td>40436</td> </tr> <tr> <td>INSURER B :</td> <td></td> </tr> <tr> <td>INSURER C :</td> <td></td> </tr> <tr> <td>INSURER D :</td> <td></td> </tr> <tr> <td>INSURER E :</td> <td></td> </tr> <tr> <td>INSURER F :</td> <td></td> </tr> </table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A : Stratford Insurance Company	40436	INSURER B :		INSURER C :		INSURER D :		INSURER E :		INSURER F :
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INSURER C :														
INSURER D :														
INSURER E :														
INSURER F :														
INSURED Angelina A. Perry dba Angelinas Appraisals 18792 Krameria Avenue Riverside CA 92508														

COVERAGES **CERTIFICATE NUMBER:** CL1982303980 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:						EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COM/OP AGG \$ \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below						PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
A	Errors & Omissions Retroactive Date: 08/30/2011			REO0003507	08/30/2019	08/30/2020	Each Claim \$1,000,000 Aggregate \$1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE

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